

- LEGEND
- existing tree to be removed
 - existing tree to be retained
 - proposed tree
 - ct ceramic tiles
 - dp downpipe
 - do drainage outlet
 - rwt rain water tank
 - of overflow
 - oshr outdoor shower
 - gm gas meter
 - existing RL's
 - outline of existing buildings to be demolished
 - T.O.W. top of wall
 - T.O.P. top of parapet

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REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS	03/2021
C	DA AMENDMENTS	03/2021
D	DA AMENDMENTS 1. All floors lowered by 500mm and driveway grade adjusted to suit maximum transition grade of 12.5%. 2. First floor balcony reduced in width to 2.2m to increase neighbour views to Barrenjoey Lighthouse. 3. Ground floor and lower ground floor balconies extended by 500mm to improve stepped building form and to make balconies more usable. 4. Tiered landscaping and stairs off ground floor patio adjusted to suit revised building levels.	05/2021
E	DA AMENDMENTS 1. Carport masonry walls replaced with glass balustrading to improve ocean view from the street. 2. First floor ensuite width corrected to 2200mm. 3. Off-form concrete or Rockcote smooth finish to parapet and slab edges.	11/2021
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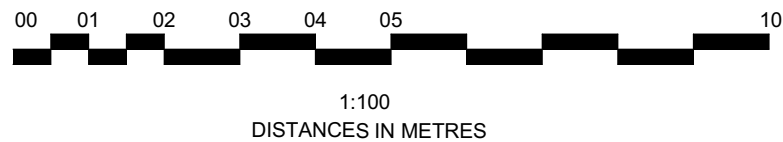
CONTROLS
ZONE : E4 ENVIRONMENTAL LIVING
ACID SULFATE SOILS: CLASS 5
MAX BUILDING HEIGHT: 10m MAX BUILDING HEIGHT
GEOTECHNICAL HAZARD: H1 GEOTECHNICAL HAZARD
LANDSCAPE AREA: 60% LANDSCAPE AREA = 376.03m² (inc impervious area)

BUILDING FOOTPRINT
EXISTING: 175.72m²
PROPOSED: 147.85m²

PROJECT
PROPOSED DWELLING HOUSE FOR WILLIAM & NANCY GROUNDS
ADDRESS 13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 DP NO. 19651
DRAWING TITLE
SITE ROOF PLAN
ARCHITECT JAMISA ARCHITECTS PTY LTD Nominated Architect: Jamie Grounds NSW Registration No. 7265 Suite 4, 112 Cronulla St, Cronulla PH/FAX: 9523 6499
SCALE 1:100 @ A1
DRAWN MC, CT
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07
DRAWING NUMBER DA01
ISSUE F

LEGEND

	existing tree to be removed
	existing tree to be retained
	proposed tree
ct	ceramic tiles
if	timber floor
dp	dewpoint
do	drainage outlet
nwt	rain water tank
of	overflow
hr	handrail
gm	gas meter
T.O.W.	top of wall
T.O.P.	top of parapet
sd	smoke detector
sp	structural post
shr	shower
gb	glass balustrade
x21.10	existing RL's
—	outline of existing buildings to be demolished

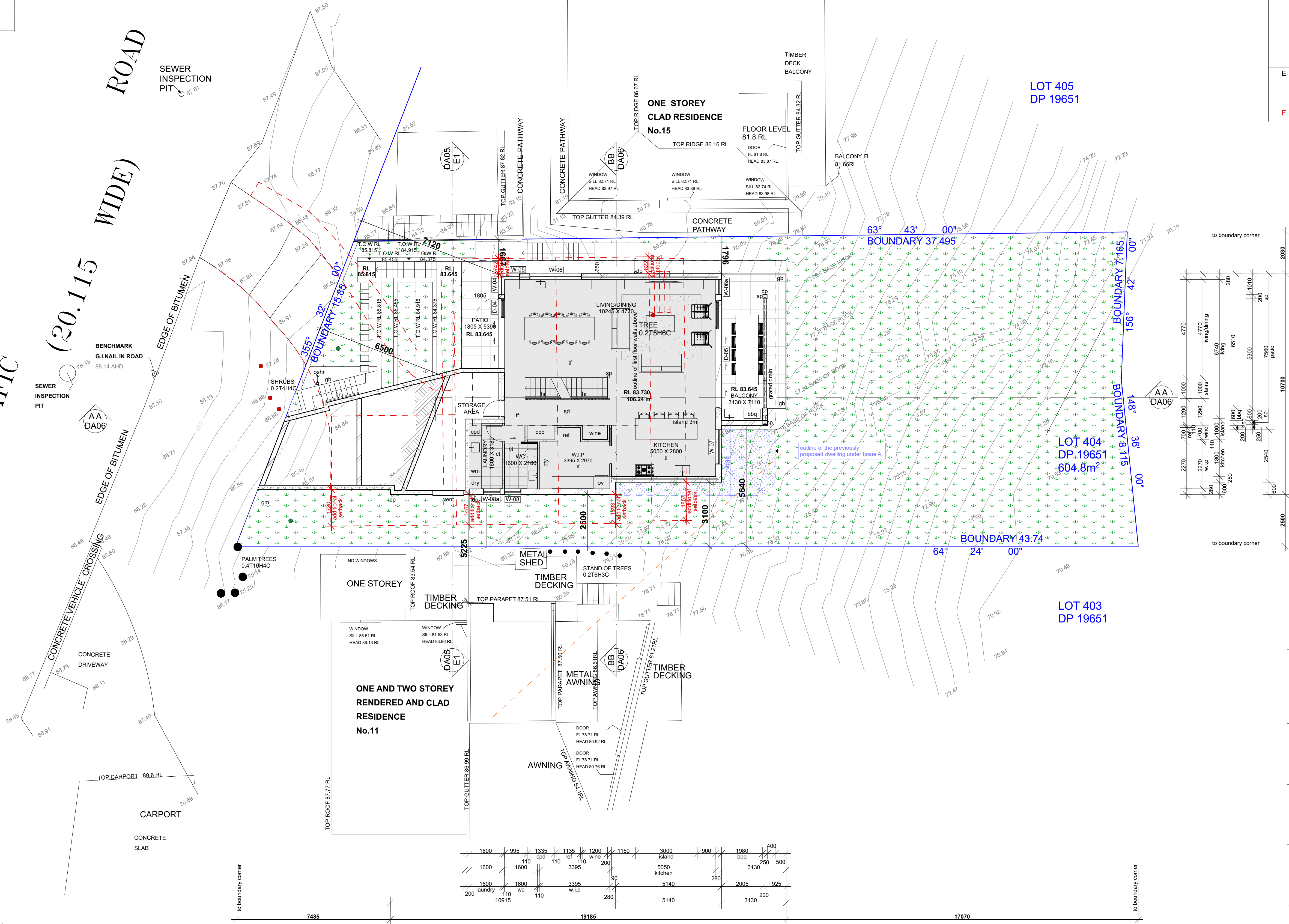


PROJECT	
PROPOSED DWELLING HOUSE	
FOR	
WILLIAM & NANCY GROUNDS	
ADDRESS	
13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 DP NO. 19651	
DRAWING TITLE	
LOWER GROUND FLOOR PLAN	
ARCHITECT	
JAMISIA ARCHITECTS PTY LTD	
Nominated Architect: Jamie Grounds NSW Registration No. 7265 Suite 4, 112 Cronulla St, Cronulla PH/FAX. 9523 6499	
SCALE	1:100 @ A1
DRAWN	MC, CT
CHECKED	JG
SUBMISSION DATE	SEPTEMBER 2020
JOB NUMBER	03/2018/07
DRAWING NUMBER	ISSUE
DA02	F

WALL LEGEND		
Symbol	Type	Finish
	280mm Double Cavity Brick	Rendered
	270mm Double Cavity Brick	Face Brick
	250mm Double Brick	Rendered (external + internal face)
	200mm AFS Logic Wall	
	110mm Single Brick	Face Brick
	90mm Timber Framed	

LEGEND	
	existing tree to be removed
	existing tree to be retained
	proposed tree
ct	ceramic tiles
tf	timber floor
dp	downpipe
do	drainage outlet
rwt	rain water tank
of	overflow
osh	outdoor shower
gm	gas meter
T.O.W.	top of wall
T.O.P.	top of parapet
sd	smoke detector
sp	structural post
shr	shower
wip	walk in pantry
ref	refrigerator
cpd	cupboard
pty	pantry
ov	oven
wm	washing machine
dry	dryer
hr	handrail
gb	glass balustrade
x2:1.10	existing RL's
	outline of existing buildings to be demolished

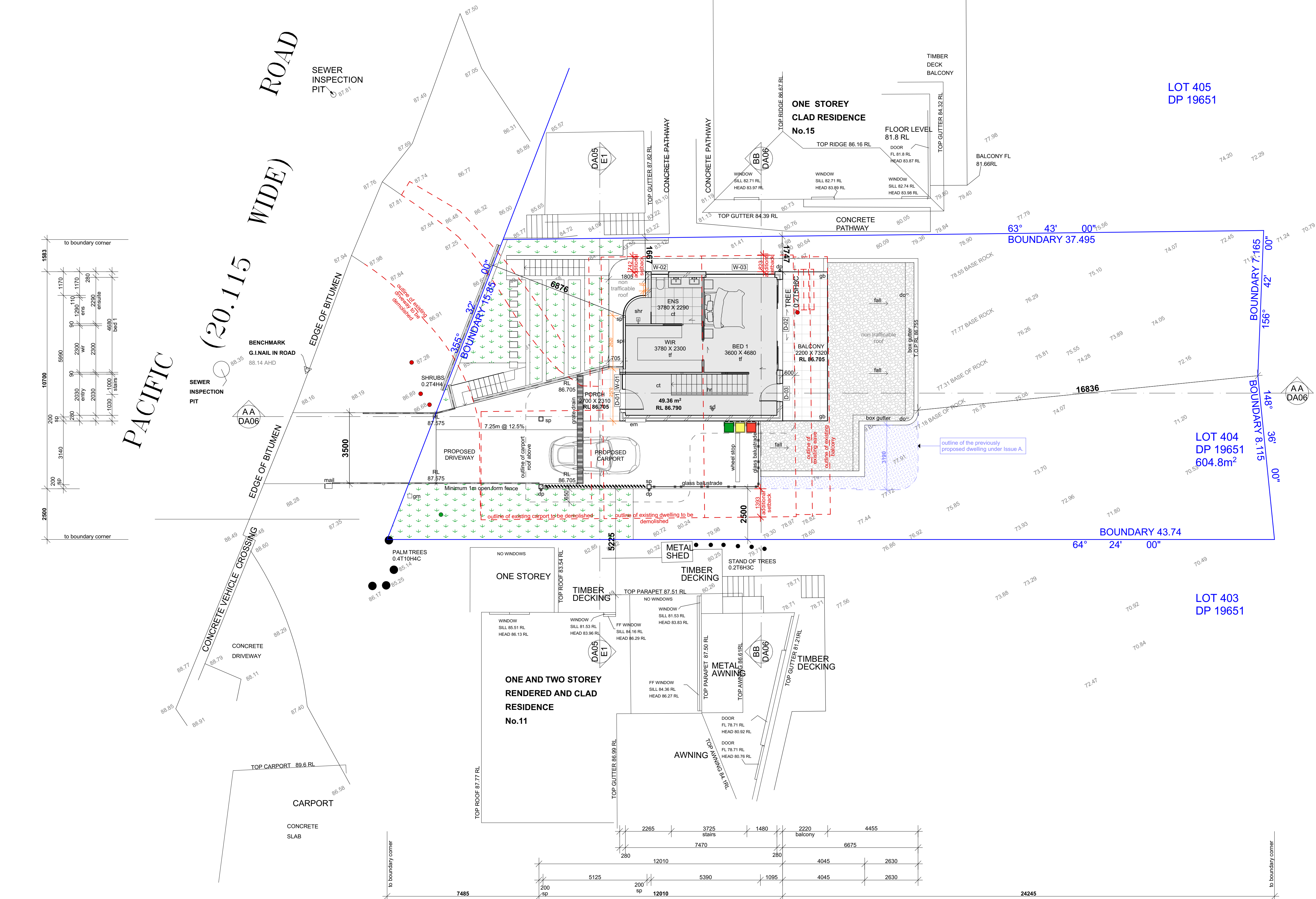
GROUND FLOOR PLAN
SCALE 1:100



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PROJECT	
PROPOSED DWELLING HOUSE FOR WILLIAM & NANCY GROUNDS	
ADDRESS 13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 DP NO. 19651	
DRAWING TITLE	
GROUND FLOOR PLAN	
ARCHITECT JAMISA ARCHITECTS PTY LTD Nominated Architect: Jamie Grounds NSW Registration No. 7265 Suite 4, 112 Cronulla St, Cronulla PH/FAX: 9523 6499	
SCALE	1:100 @ A1
DRAWN	MC, CT
CHECKED	JG
SUBMISSION DATE	SEPTEMBER 2020
JOB NUMBER	03/2018/07
DRAWING NUMBER	ISSUE
DA03	F

WALL LEGEND		
Symbol	Type	Finish
	280mm Double Cavity Brick	Rendered
	250mm Double Brick	Rendered (external + internal face)
	110mm Timber Framed	Lightweight Cladding
	90mm Timber Framed	



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E	DA AMENDMENTS	11/2021
F	DA AMENDMENTS	12/2021

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5. Minor dimension corrections.

LEGEND

	Area included in FSR
shr	shower
dp	downpipe
ct	ceramic tiles
cpt	carpet
sd	smoke detector
nr	handrail
tf	timber floor
gm	gas meter
em	electrical meter
do	drainage outlet
gb	glass balustrade
oshr	outdoor shower

PROJECT

PROPOSED DWELLING HOUSE FOR WILLIAM & NANCY GROUNDS

ADDRESS

13 PACIFIC ROAD PALM BEACH, NSW, 2108 LOT NO. 404 | DP NO. 19651

DRAWING TITLE

FIRST FLOOR PLAN

ARCHITECT

JAMISA ARCHITECTS PTY LTD

Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE

1:100 @ A1

DRAWN

MC, CT

CHECKED

JG

SUBMISSION DATE

SEPTEMBER 2020

JOB NUMBER

03/2018/07

DRAWING NUMBER

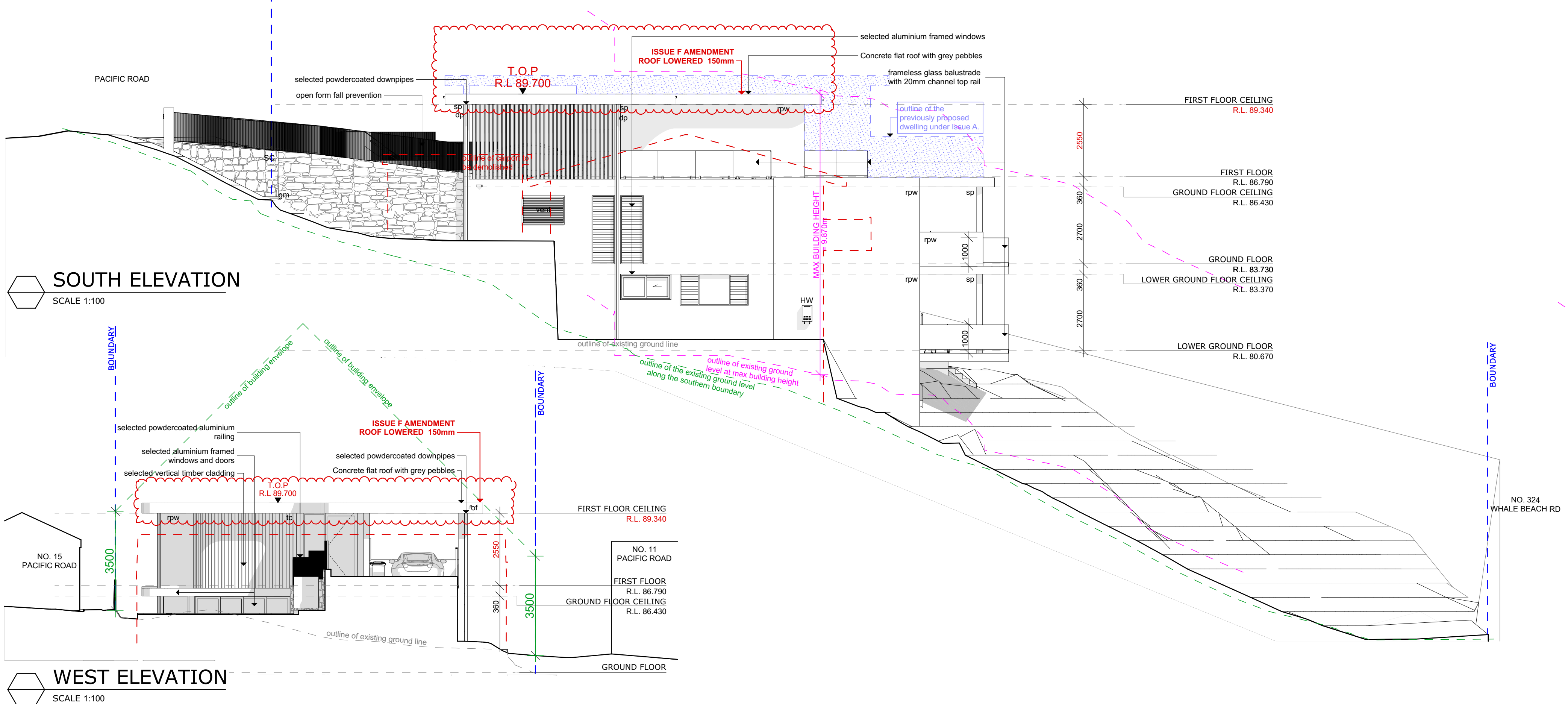
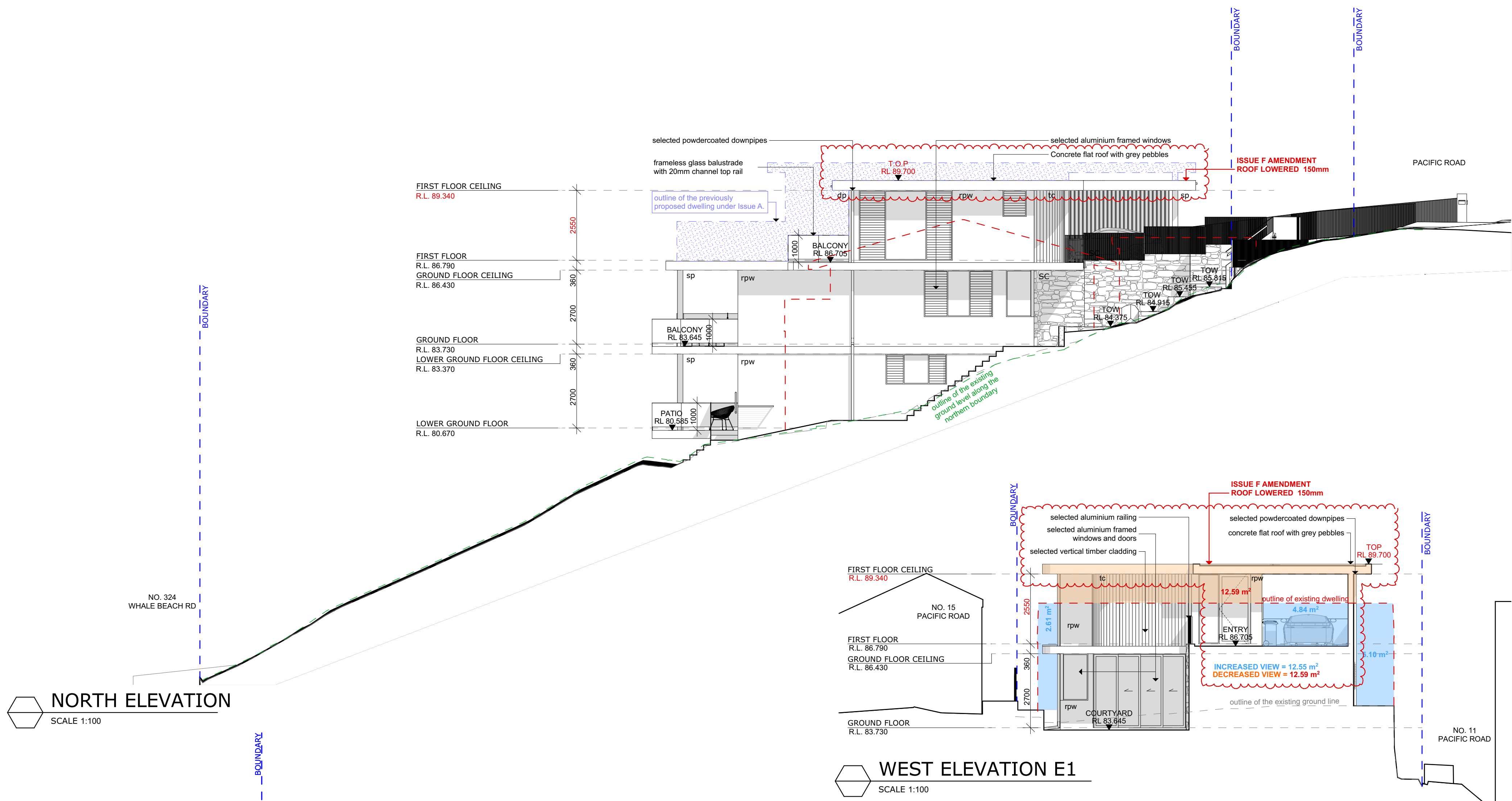
DA04

ISSUE

F

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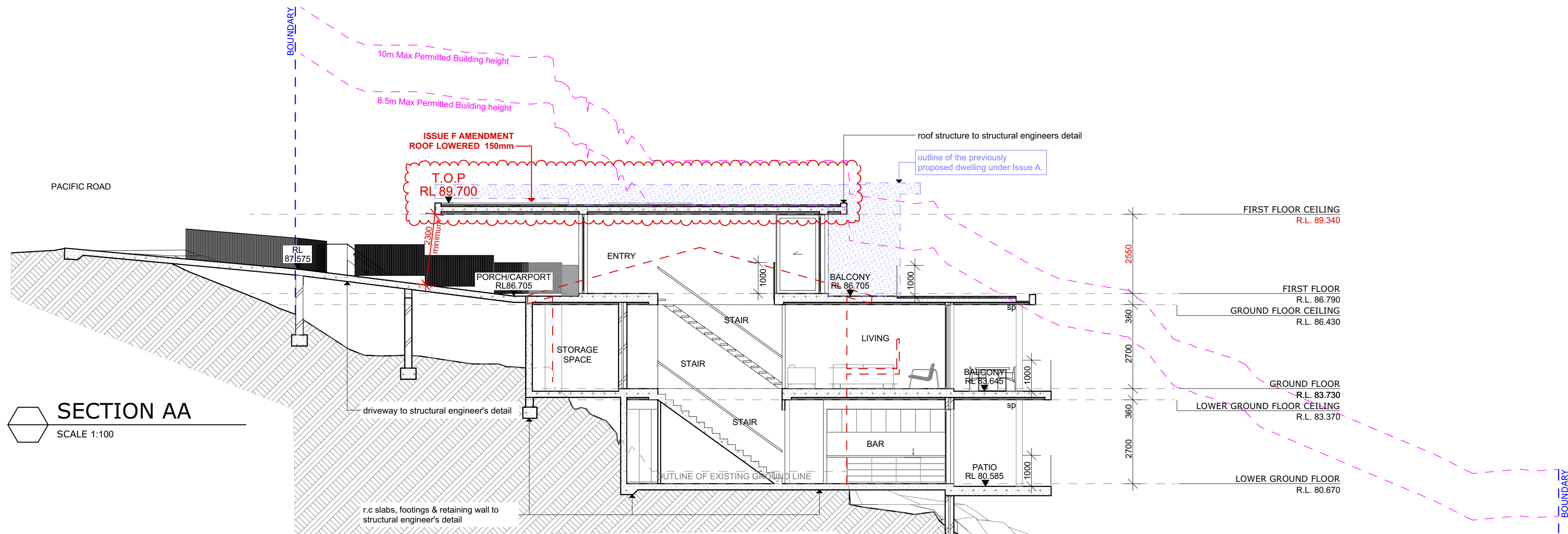
LEGEND	
of	overflow
dp	downpipe
tc	timber cladding
T.O.P	top of parapet
rpw	rendered & painted masonry wall
hw	hot water system
em	elec. meter
gm	gas meter
- -	outline of existing buildings to be demolished
SC	stone cladding
■	area of increased view
■	area of decreased view
T.O.P	top of parapet

PROJECT
**PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS**
ADDRESS
**13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651**
DRAWING TITLE

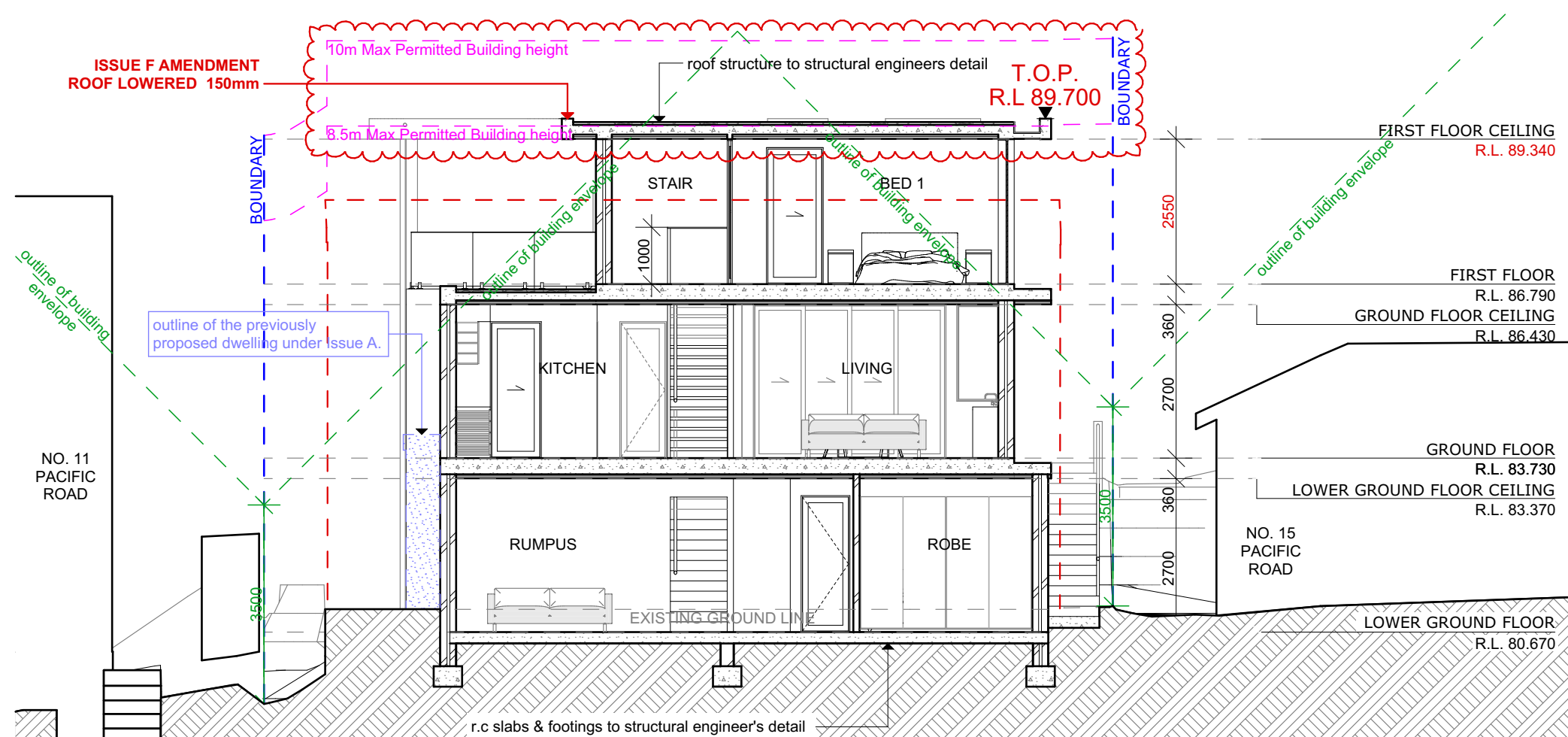
ELEVATIONS
ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499
SCALE 1:100 @ A1
DRAWN MC, CT
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07
DRAWING NUMBER
DA05
ISSUE
F

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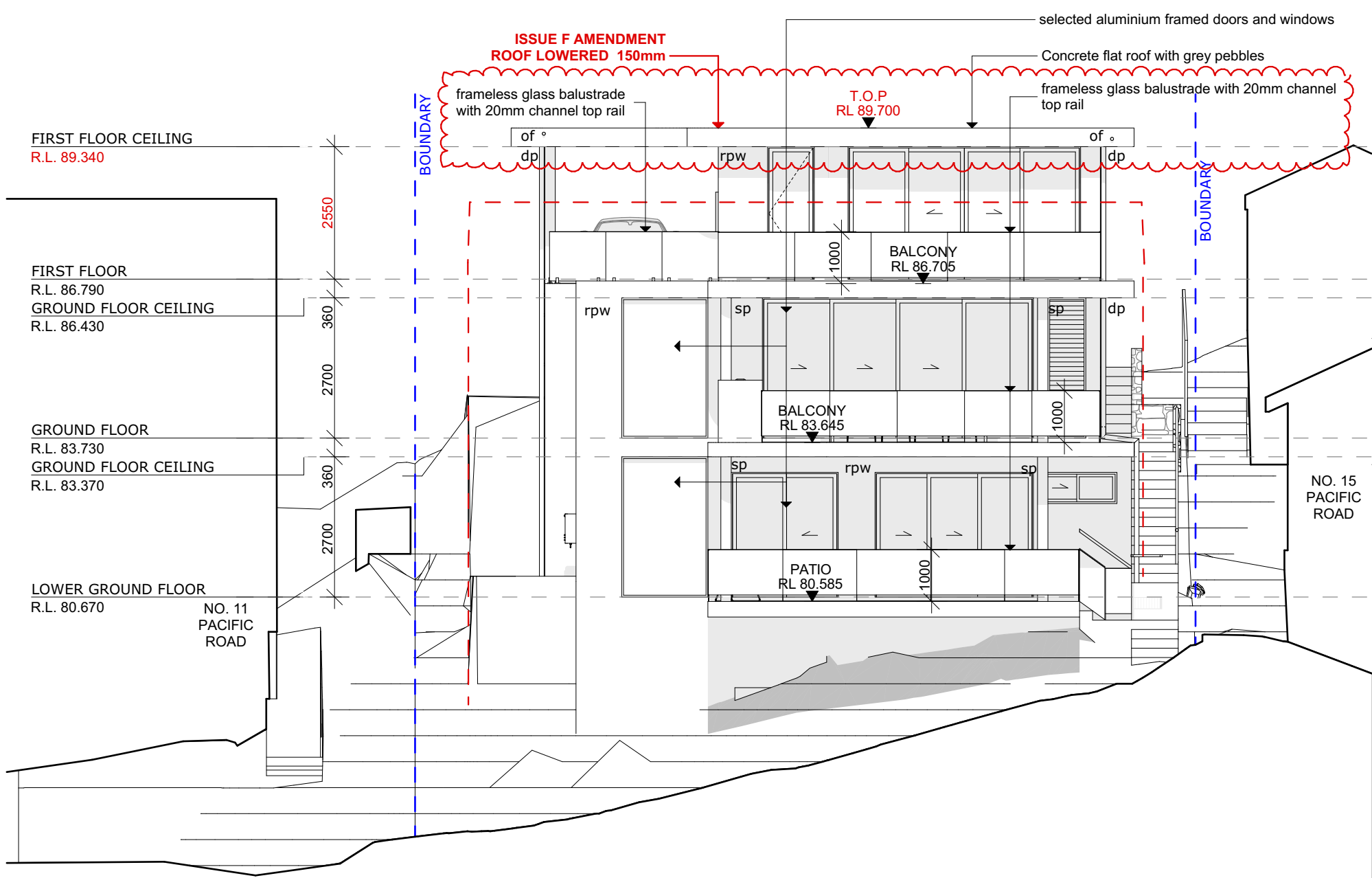
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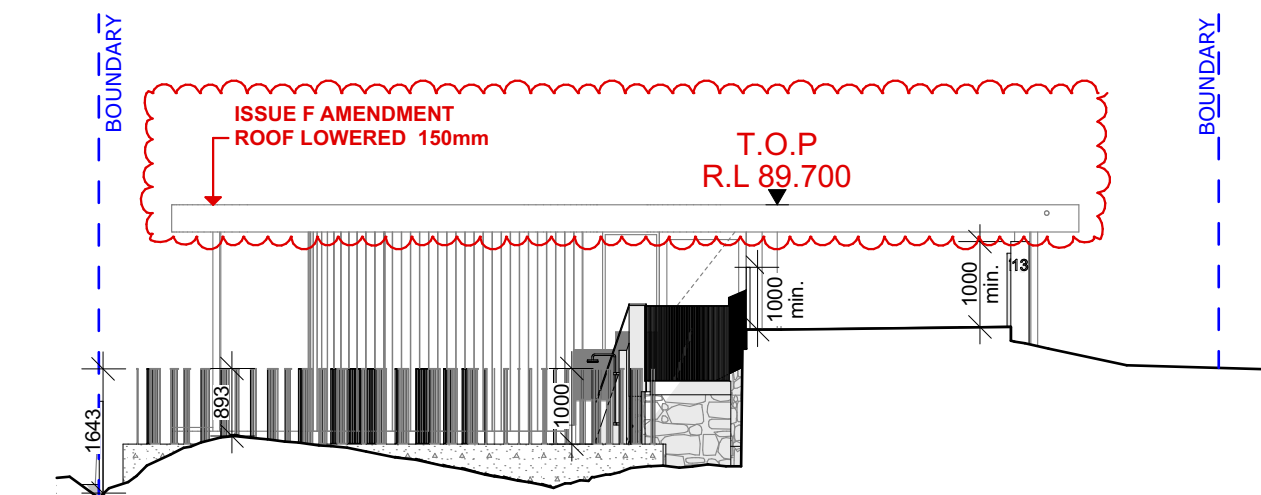
SECTION AA
SCALE 1:100



SECTION BB
SCALE 1:100



EAST ELEVATION
SCALE 1:100



FRONT FENCE ELEVATION
SCALE 1:100

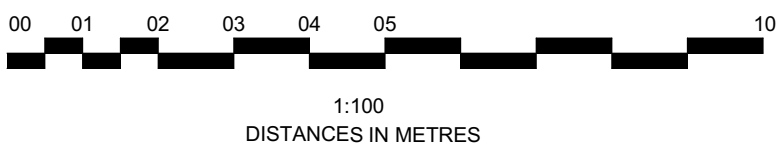
LEGEND
of overflow
sp structural post
dp downpipe
rpw rendered & painted masonry wall
— outline of existing buildings to be demolished
T.O.P top of parapet

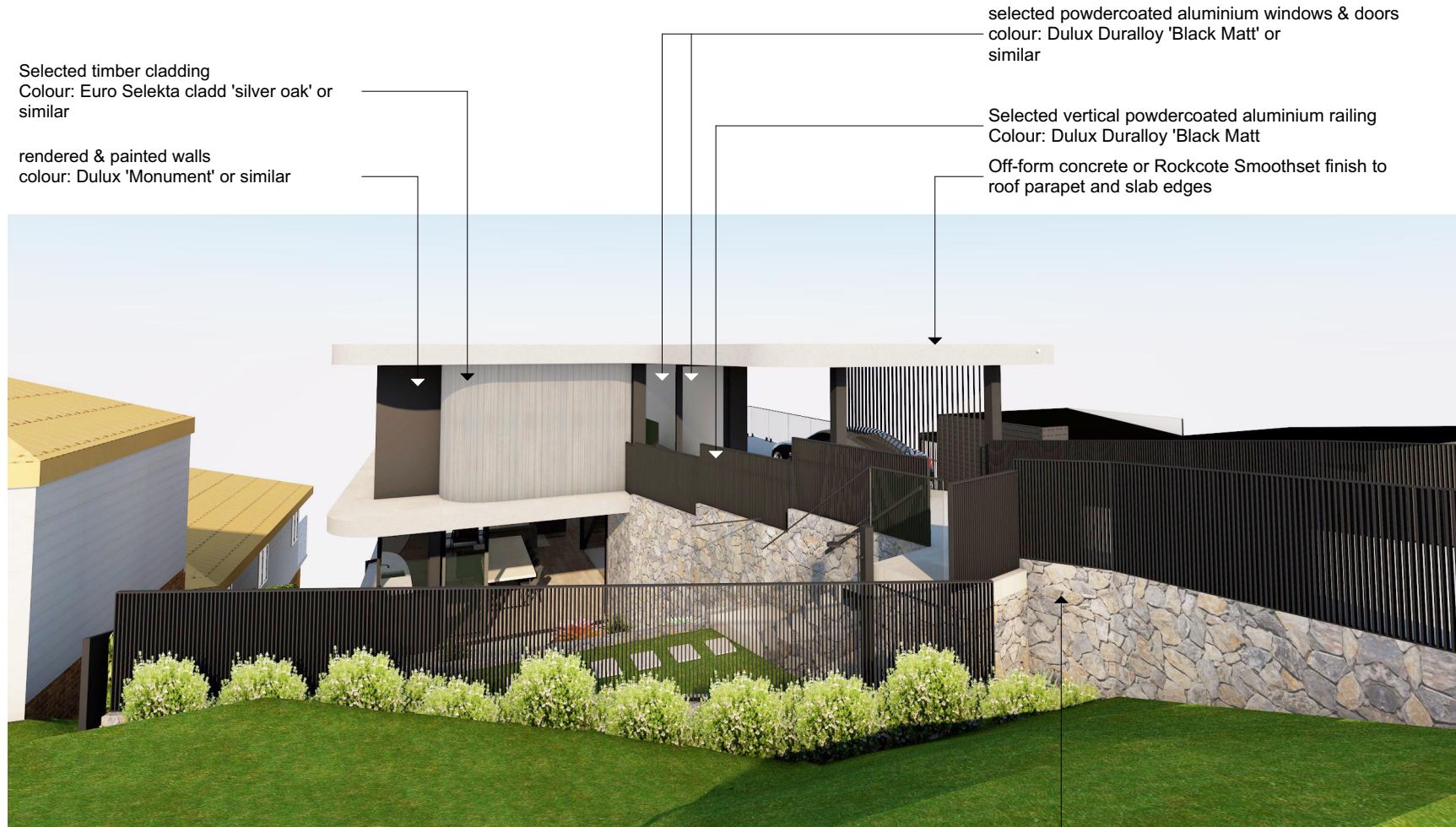
PROJECT
**PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS**
ADDRESS
**13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651**
DRAWING TITLE

SECTIONS
ARCHITECT
JAMISA ARCHITECTS PTY LTD
Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX: 9523 6499

SCALE 1:100 @ A1
DRAWN MC, CT
CHECKED JG
SUBMISSION DATE SEPTEMBER 2020
JOB NUMBER 03/2018/07

DRAWING NUMBER ISSUE
DA06 F





Selected timber cladding
Colour: Euro Selekt cladd 'silver oak' or similar





rendered & painted walls
colour: Dulux 'Monument' or similar

selected powdercoated aluminium windows & doors
colour: Dulux Duralloy 'Black Matt' or similar

Selected vertical powdercoated aluminium railing
Colour: Dulux Duralloy 'Black Matt'

Off-form concrete or Rockcote Smoothset finish to roof parapet and slab edges

Stone Clad Wall
Colour: Eco Outdoor Freeform 'Wamberal' or similar

	Dulux Powdercoat- 'Black Matt'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Dulux - 'Monument'

Note: Dulux & Colorbond colours can be replaced by similar products

selected frameless glass balustrade with
20mm powdercoated channel top rail

Off-form concrete or Rockcote Smoothset
finish to roof parapet and slab edges



rendered & painted walls
colour: Dulux 'Monument' or similar

selected powdercoated aluminium windows & doors
colour: Dulux Duralloy 'Black Matt' or
similar

	Rockcote 'Smoothset'
	Dulux Powdercoat 'Black Matt'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Dulux - 'Monument'

Note: Dulux & Colorbond colours can
be replaced by similar products

selected frameless glass balustrade with
20mm powdercoated channel top rail

Off-form concrete or Rockcote Smoothset
finish to roof parapet and slab edges

selected powdercoated aluminium windows & doors
colour: Dulux Duralloy 'Black Matt' or
similar

rendered & painted walls
colour: Dulux 'Monument' or similar

selected gutters & downpipes
colour: Colorbond 'monument' or
similar



	Rockcote 'Smoothset'
	Dulux Powdercoat- 'Black Matt'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Eco Outdoor freeform stone wall Colour: 'Wamberal'
	Dulux - 'Monument'

Note: Dulux & Colorbond colours can
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